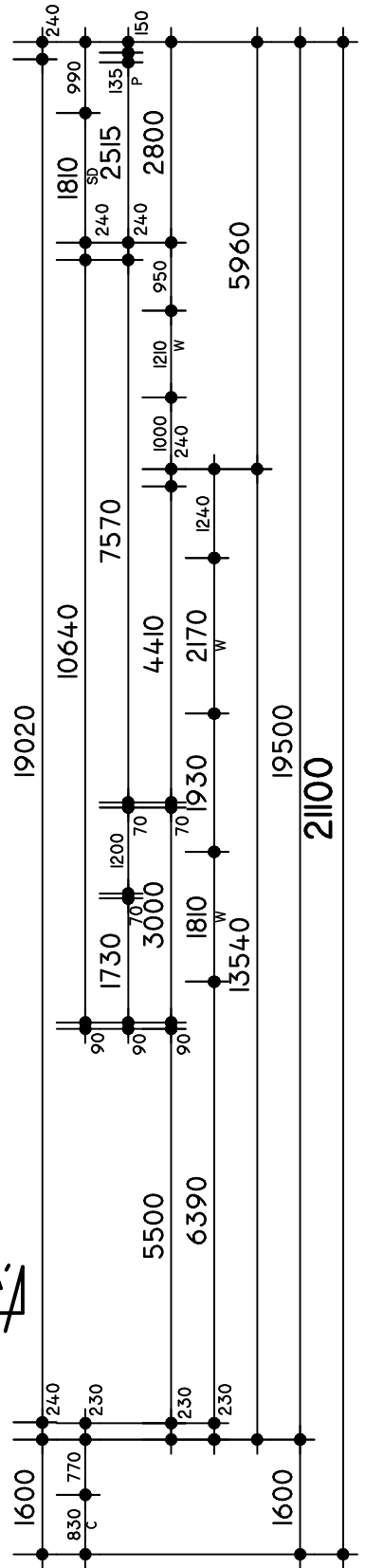
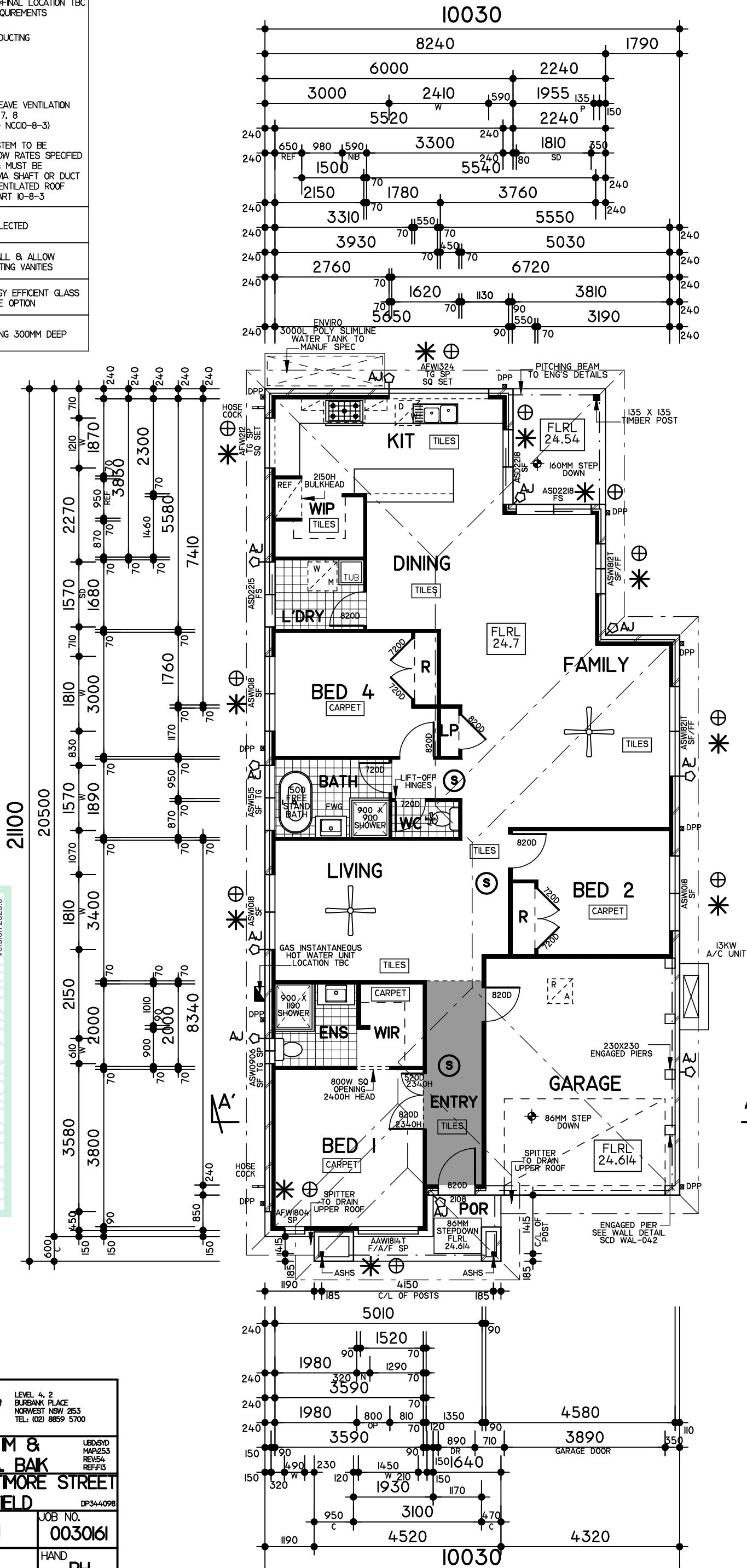


LEGEND

- SMOKE ALARM *FINAL LOCATION SUBJECT TO NCC REQUIREMENTS
- ARTICULATION JOINTS *FINAL LOCATION TBC TO ENGINEERS/NCC REQUIREMENTS
- KEEP CLEAR FOR AC DUCTING
- AIR CONDITIONER DUCT
- 200MM X 400MM EAVE VENTILATION (CLIMATE ZONE 6, 7, 8 IN ACCORDANCE TO NCC10-8-3)
- DENOTES EXHAUST SYSTEM TO BE INSTALLED AS PER FLOW RATES SPECIFIED IN NCC PART 10-8-2 & MUST BE DISCHARGED DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR OR VENTILATED ROOF SPACE AS PER NCC PART 10-8-3
- DOUBLE GLAZING AS SELECTED
- DRAINAGE POINTS THROUGH WALL & ALLOW ADDITIONAL BRACING FOR FLOATING VANITIES
- PROVIDE STEGBAR ENERGY EFFICIENT GLASS (LOW-E CLEAR) UPGRADE OPTION
- DENOTES RAISED CEILING 300MM DEEP

NCC NOTES

- FACILITIES**
(DEEMED TO SATISFY PROVISION H4D5)
FACILITIES TO BE PROVIDED IN ACCORDANCE TO PART 10.4.1 TO 10.4.2 OF HOUSING PROVISIONS OF THE NCC
- WET AREA WATERPROOFING**
(H400) WET AREA FLASHING TO MEET CLAUSES 10.2.1 TO 10.2.6 AND 10.2.12 OF ABCB HOUSING PROVISIONS OF NCC 2022
- CONDENSATION MANAGEMENT**
(DEEMED TO SATISFY PROVISION H4D9)
CONDENSATION MANAGEMENT SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH 10.8.1 TO 10.8.3 OF HOUSING PROVISIONS OF THE NCC
- EXTERNAL WALL CONSTRUCTION**
PLIABLE BUILDING MEMBRANE IN EXTERNAL WALL: TO COMPLY WITH AS4200.1 & INSTALLED IN ACCORDANCE WITH AS4200.2 PLIABLE BUILDING MEMBRANE TO MEET CLIMATE ZONE 5 OR 6
- VENTILATION**
(DEEMED TO SATISFY PROVISION H4D7)
VENTILATION TO BE PROVIDED IN ACCORDANCE WITH PART 10.6.1 TO 10.6.3 OF HOUSING PROVISIONS OF THE NCC
- VENTILATION OF ROOF SPACES**
IN CLIMATE ZONES 6, 7 AND 8, A ROOF MUST BE IN ACCORDANCE WITH PART 10.8.3 OF HOUSING PROVISIONS OF THE NCC
- WINDOW PROTECTION**
WINDOW PROTECTION TO BEDROOMS & TO OTHER ROOMS OTHER THAN BEDROOMS TO BE IN ACCORDANCE TO HOUSING PROVISION 11-3-7 TO 11-3-8 OF NCC



Certificate No. 0013089610

Scan QR code or follow website link for rating details.

Assessor name: Ian Fry

Accreditation No. DMN/12/1441

Property Address: 8 Baltimore Street, BELFIELD NSW 2191

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heden brae homes

LEVEL 4, 2 BURBANK PLACE, NORWEST NSW 2153, TEL: (02) 8859 5700

FOR: MR. S. E. M & MRS. K. A. BAK

LOT B, 8 BALTIMORE STREET, BELFIELD

AT: DP344098

TYPE: MIDLAND 21

JOB NO.: 0030161

FACADE: KIRRA (ADVANTAGE SERIES)

HAND: RH

MASTER: AND-30703

DWG NO.: AND-42793

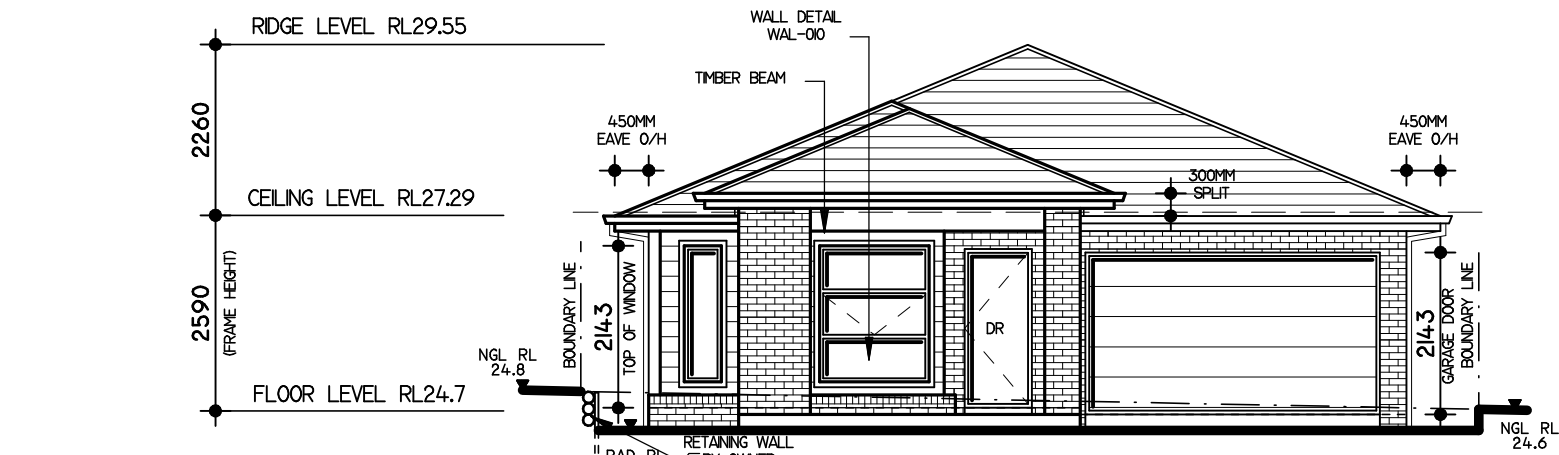
PAGE NO.: 2 OF 10

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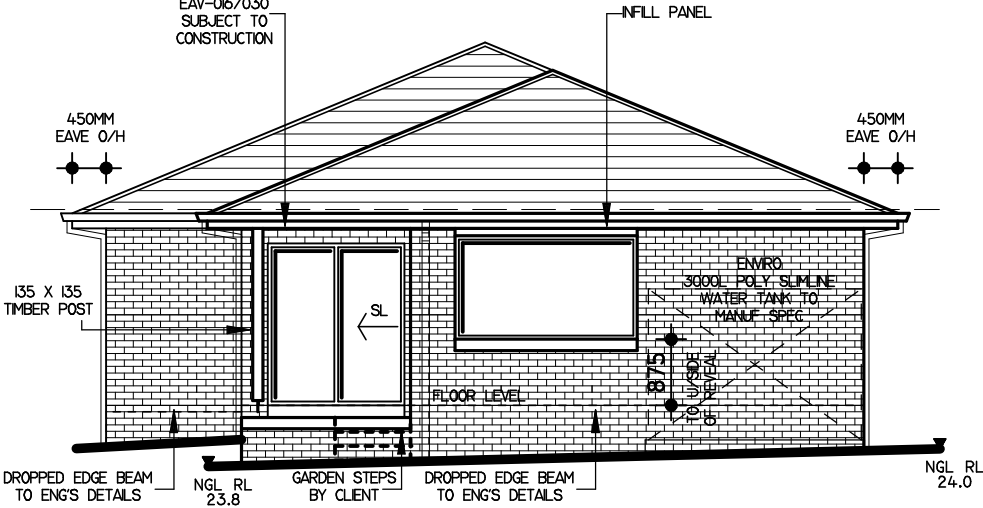
NORTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



SOUTH WEST ELEVATION 1:100

LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2553
TEL: (02) 8859 5700

FOR

MR. S. E. M &
MRS. K. A. BAK

LOT B, 8 BALTIMORE STREET
BELFIELD

AT

MIDLAND 21

KIRRA
(ADVANTAGE SERIES)

TYPE

0030161

RH

MASTER

DWG NO.

PAGE NO.

AND-30703

AND-42793

3 OF 10

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Assessor name Ian Fry

Accreditation No. DMN/12/1441

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NSW, 2191

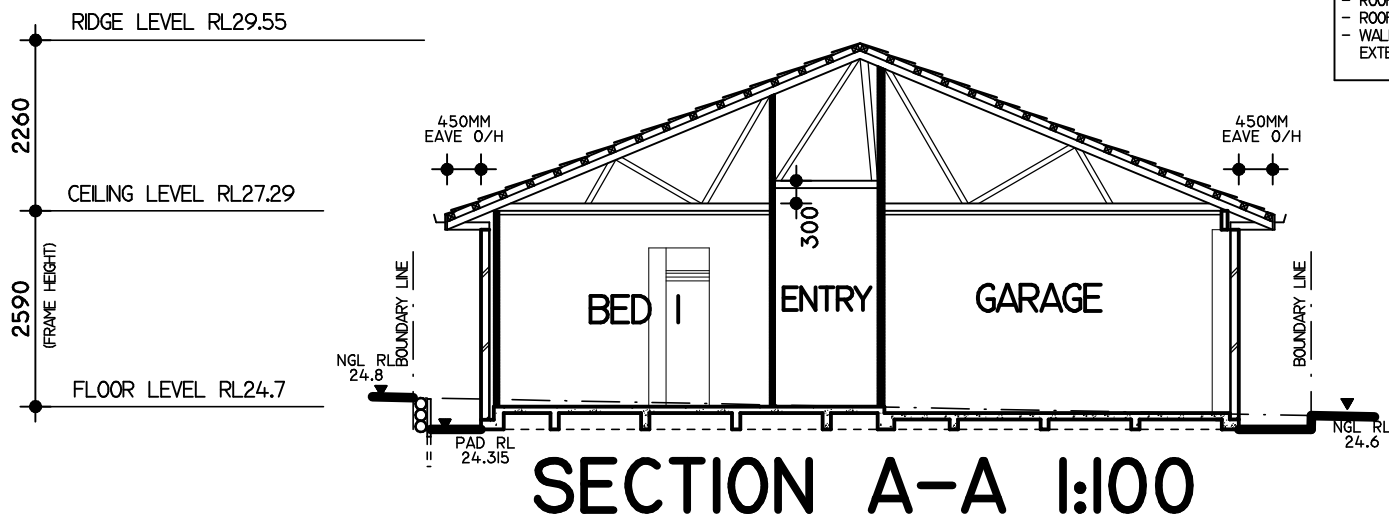
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SUMMARY OF MATERIALS

- 22.5° ROOF PITCH COLORBOND ROOF SHEETING
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED FRAMES & ROOF TRUSSES TO MANUFACTURE DETAILS & SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS THEREFORE THEY ARE NOT FINISHED ROOM SIZES
- FACE BRICKWORK
- CLADDING FINISH AS SELECTED
- TIMBER BEAM TO BE PAINT GRADE
- TIMBER POSTS TO BE PAINT GRADE
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE
- SECTIONAL OVERHEAD GARAGE DOOR

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				BASIX & THERMAL COMMITMENTS													
Date 18/06/26		Job Number IM 0030161		Assessment 1		REQUIRED CHANGES HIGHLIGHTED											
Unit/Number 8		Lot B	DP 344098	Street Baltimore Street		Suburb BELFIELD				Post Code 2191		State NSW					
Floors		Material		Added Insulation		To Cantilever/Suspended Floor Coverings											
Ground		Waffle Pod 300mm(85mm)				As shown on plans											
Walls		Colour	External Material	Insulation		Internal Material		Internal Insulated									
Ground		Default	Brick Veneer Steel Frame Fibre Cement Timber Frame	R2.5, air gap R2.5		Plaster Steel 90mm		Garage R2.5									
Ceilings		Material		Insulation to Roof Above		Roof		Insulation		Material		Colour		Ventilated			
Ground		Plaster Timber Frame		R6.0 R2.5 to Low Edge		Ground		Sarking		Tiles		Default		Yes			
Glazing		Please Refer to the NATHERS (or BASIX) Certificate for all external glazing. To comply you must use glazing with the same opening and frame type, the U value must be the same or lower and have an SHGC value within the range given. THE BELOW GLAZING NOMINATIONS ARE AN INDICATION ONLY PLEASE REFERENCE THE CERTIFICATE(S).															
Supplier		Glazing Type Required		Location(s) of Glazing Required													
Stegbar		Standard Single Clear Low-e Double Glaze		All Wet Areas and Kitchen splashback Throughout excluding wet areas and Kitchen splashback													
Notes																	
Ceiling Fans		Location		Fan Size													
		Family, Living		*Min.1200mm													
Water		Landscape Area	Low Water Area	Rain Water Tank, connected to.		Roof Area to Tank		Recycled Water, connected to.									
		147 m2	m2	3,000L Garden, WC, Laundry		Min. required		No									
Showerheads		Toilets	Kitchen Taps	Bathroom Taps		Swimming Pool											
3 Star > 7.5 but less < or = 9.0 litres per minute		3 Star	3 Star	3 Star		No											
Energy		Hot Water	Rating	Air Conditioning		3 Phase		Other									
		Gas Instantaneous	6 Star	Cooling 3.0 - 3.5 EER - Heating 3.5 - 4.0 EER				Outdoor Cloths Line									
Solar Photovoltaic System		Orientation		Cooking													
Yes		2.0 KW North- West 22.5		Gas Cooktop/ Electric Oven													
Ventilation		Laundry		Bathroom		Kitchen											
		Natural Ventilation- external window		Ducted		Ducted											
Notes		Energy and water efficient indicators due to BASIX requirements including: * R2.5 bulk insulation to walls adjacent to roof space (Entry raised ceiling) * 1200mm fans specified in lieu of 1300mm due to software limitations															
The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing 3CA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.																	
Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291																	

heden brae homes

LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2153 TEL: (02) 8859 5700

FOR MR. S. E. M & MRS. K. A. BAK

LOT B, 8 BALTIMORE STREET BELFIELD

AT MIDLAND 21

TYPE 0030161

FACADE KIRRA (ADVANTAGE SERIES)

MASTER DWG NO. AND-30703

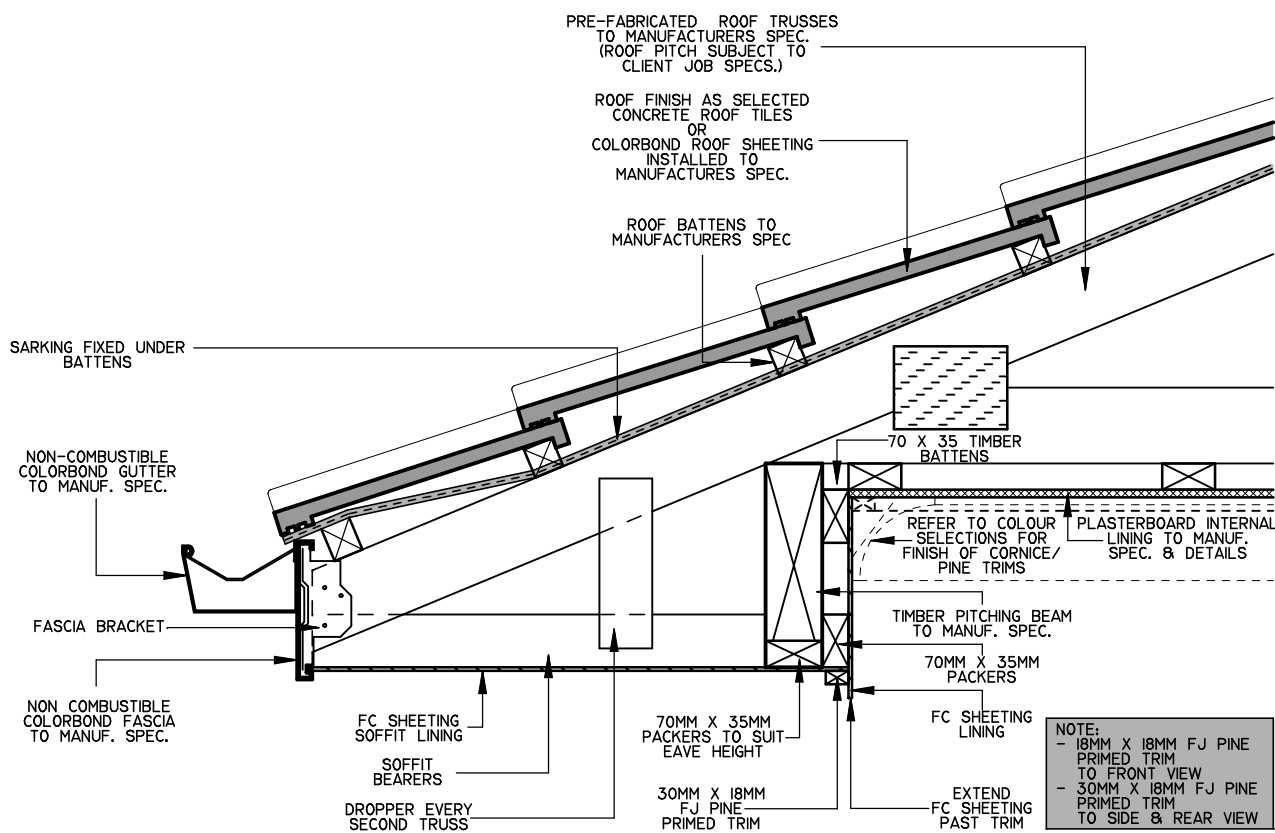
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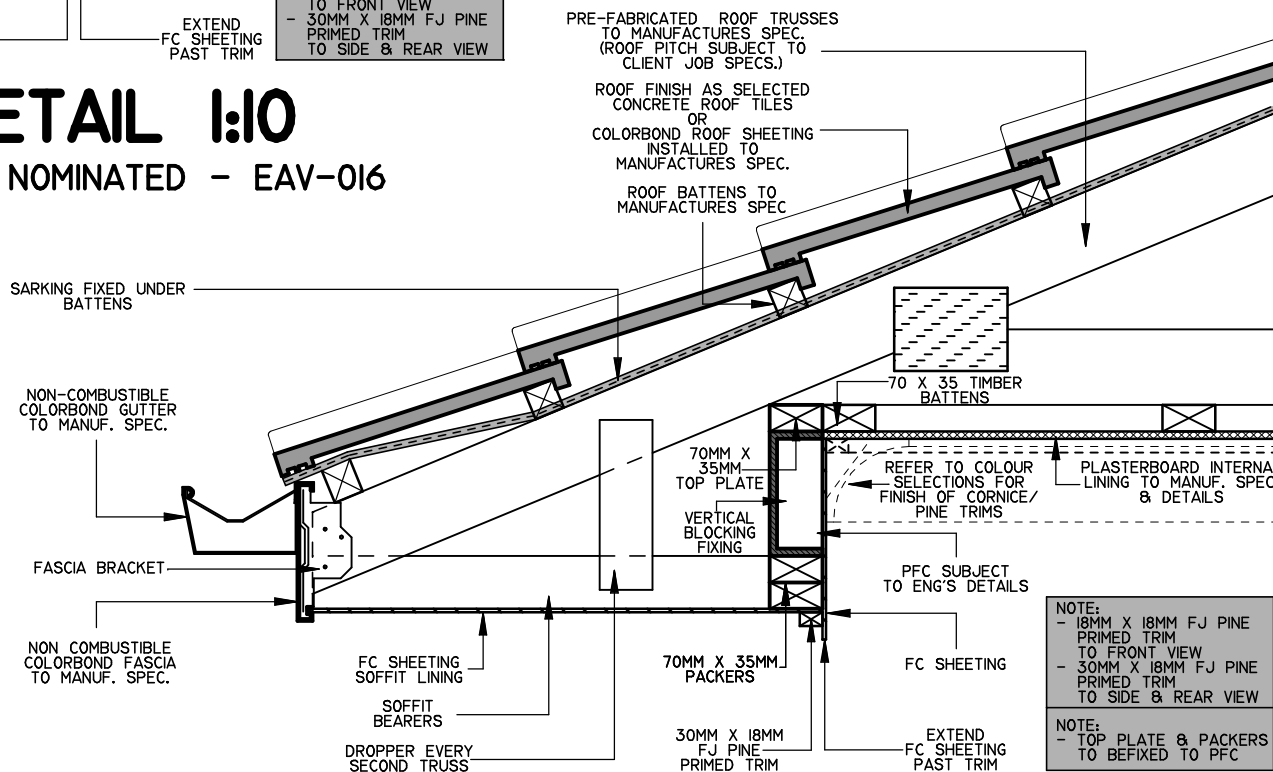
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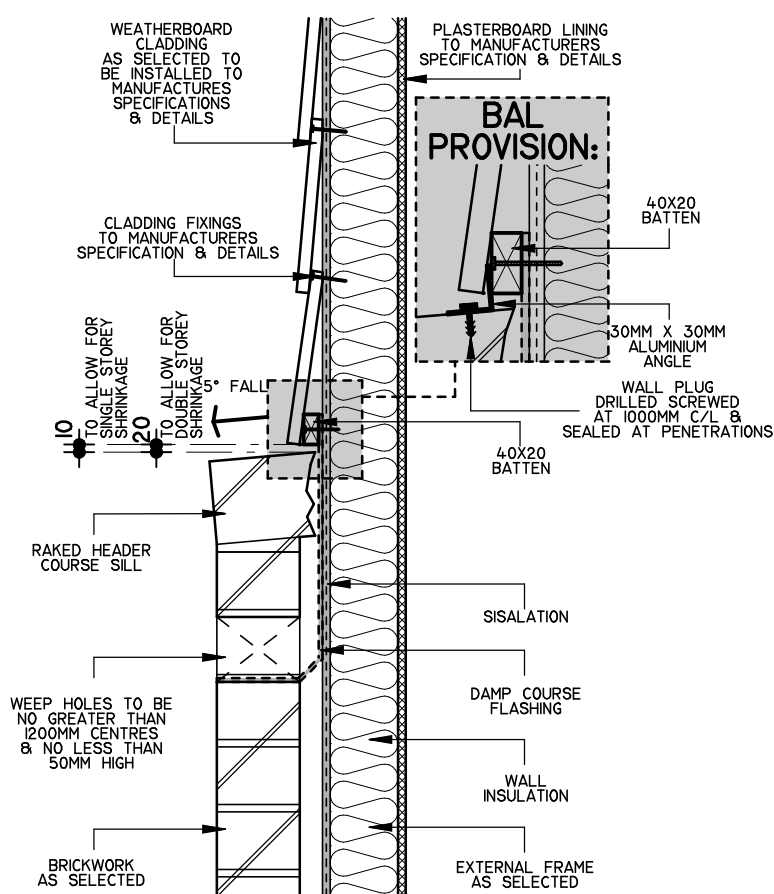
COFFER EAVE DETAIL 1:10

EAVE WITH TIMBER PITCHING BEAM AS NOMINATED - EAV-016



COFFER EAVE DETAIL 1:10

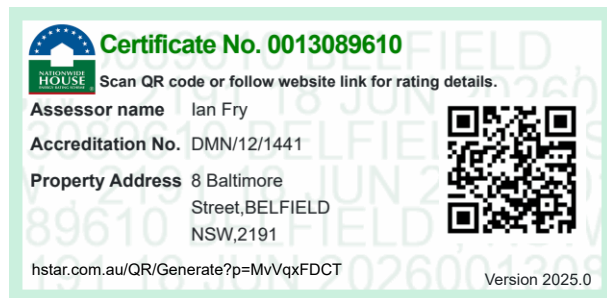
EAVE WITH PFC PITCHING BEAM AS NOMINATED - EAV-030



RAKED HEADER BRICK SILL DETAIL 1:10

WALL DETAIL WAL-010
TYPICAL BRICKWORK JUNCTION TO CLADDING

PROTECTED FROM ELEMENTS
(OVERHEAD COVER)



heden brae homes LEVEL 4, 2 BURBANK PLACE NORWEST NSW 2153 TEL: (02) 8859 5700	
FOR	MR. S. E. M & MRS. K. A. BAK
AT	LOT B, 8 BALTIMORE STREET BELFIELD
TYPE	MIDLAND 21
FACADE	KIRRA (ADVANTAGE SERIES)
MASTER	AND-30703
DWG NO.	AND-42793
PAGE NO.	5 OF 10
JOB NO.	0030161
HAND	RH

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SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS AND ENGINEERING PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING ON SITE.

NOTE: CONSULTANTS/ CONTRACTORS/SUPPLIERS DRAINAGE POINTS ARE TO BE DETERMINED ON SITE BY PLUMBER WITH REFERENCE TO CHOSEN PLUMBING FIXTURES. A&N TAKES NO RESPONSIBILITY FOR ANY DISCREPANCIES

NOTE: CONSULTANTS/ CONTRACTORS/SUPPLIERS FINAL LOCATIONS OF FLOOR WASTES ARE TO BE DETERMINED ON SITE BY BUILDER/PLUMBER WITH CONSIDERATION OF NCC REQUIREMENTS OF MAXIMUM FALL TO FLOOR WASTES



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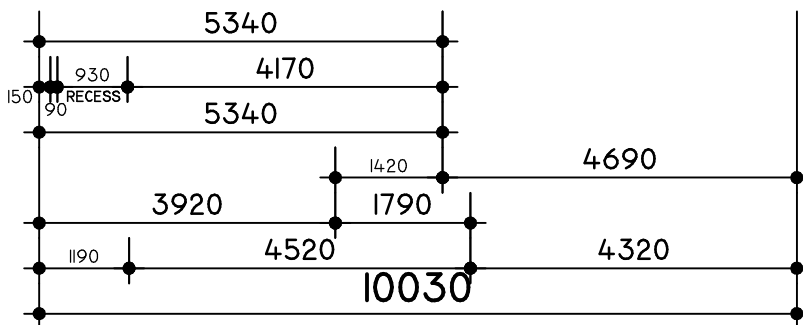
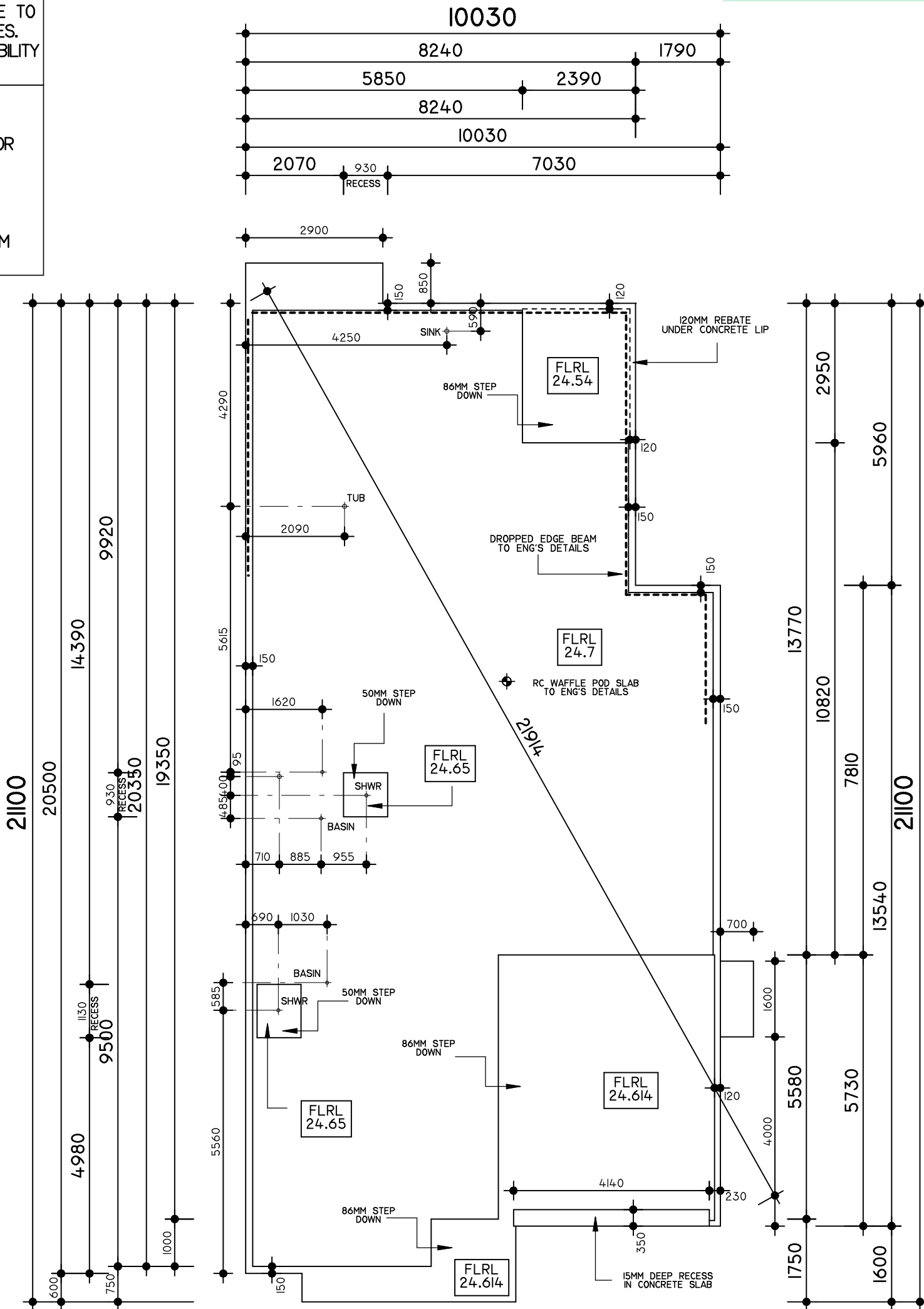
Assessor name Ian Fry

Accreditation No. DMN/12/1441

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SLAB FLOOR PLAN 1:100



LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR	MR. S. E. M & MRS. K. A. BAK	URD:SYD MAP:253 REV:54 REF:13
AT	LOT B, 8 BALTIMORE STREET BELFIELD	DP344098
TYPE	MIDLAND 21	JOB NO. 0030161
FACADE	KIRRA (ADVANTAGE SERIES)	HAND RH
MASTER AND-30703	DWG NO. AND-42793	PAGE NO. 6 OF 10



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26 - MACARTHUR POINT
PHONE: (02) 8824 3533
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Assessor name

Ian Fry

Accreditation No.

DMN/12/1441

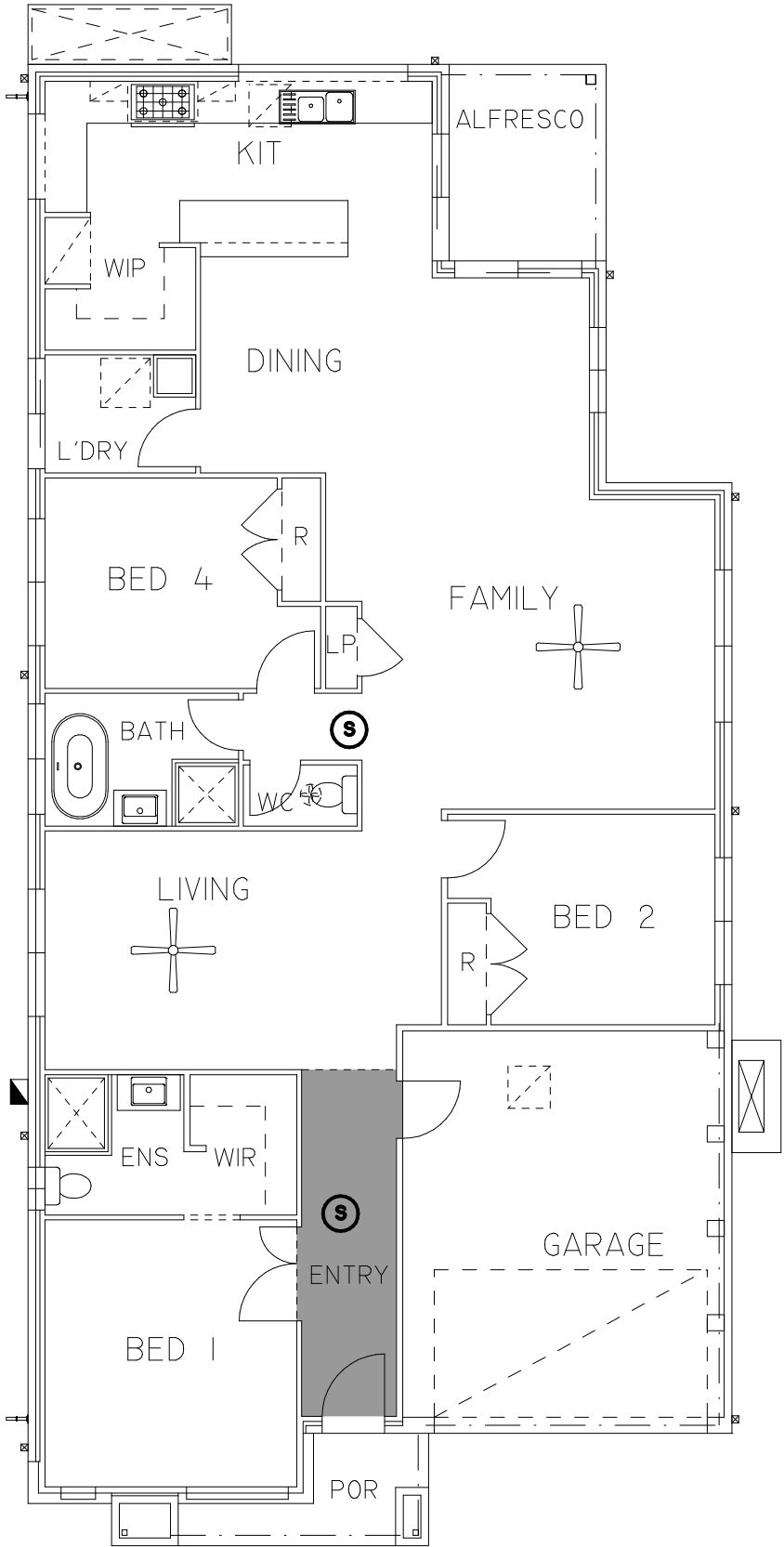
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NSW,2191

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ELECTRICAL FLOOR PLAN 1:100

STORMWATER LEGEND

(TANK & KERB & GUTTER)

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER



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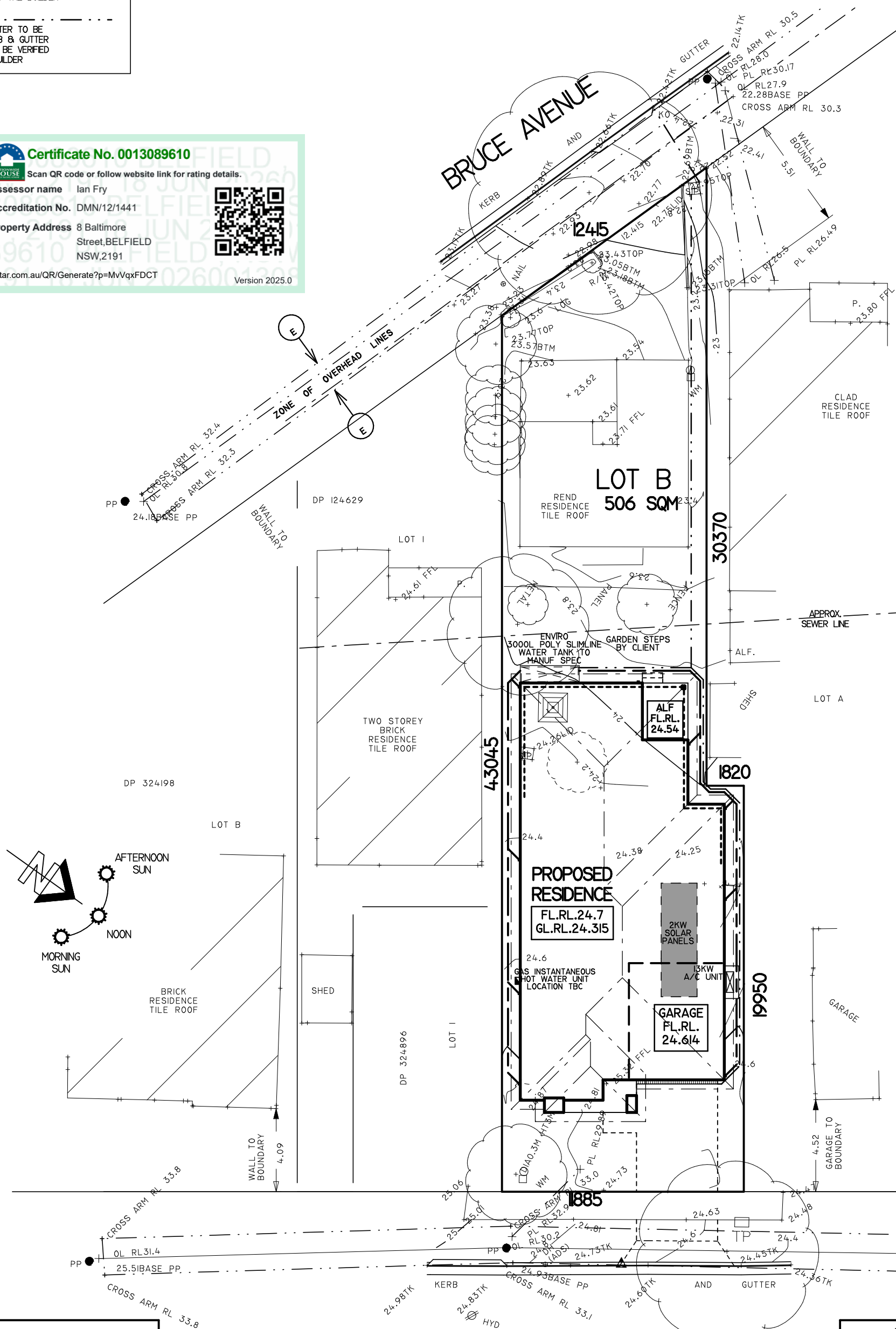
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LEVEL 4, 2
BURBANK PLACE
NORWEST NSW 253
TEL: (02) 8859 5700

FOR	MR. S. E. M & MRS. K. A. BAK	LEB510 MAP253 REV54 REF F13
AT	LOT B, 8 BALTIMORE STREET BELFIELD	DP344098
TYPE	MIDLAND 21	JOB NO. 0030161
FACADE	KIRRA (ADVANTAGE SERIES)	HAND RH
MASTER	DWG NO. AND-30703	PAGE NO. 8 OF 10

BALTIMORE STREET STORMWATER CONCEPT PLAN 1:200



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SANDBAGS OVERLAP ONTO KERB

2M MIN.

DIRECTION OF FLOW

0.6M

GAP BETWEEN BAGS ACT AS SPILLWAY

THREE LAYERS OF SANDBAGS WITH ENDS OVERLAPPED

The diagram illustrates the installation of a geotextile filter fabric for erosion control. It shows a cross-section of the ground with a sloped surface. A wire or steel mesh is installed vertically, with a maximum spacing of 3M between the posts. The mesh is driven into the ground, with posts spaced 500mm to 700mm apart. The ground is divided into 'DISTURBED GROUND' (top) and 'UNDISTURBED GROUND' (bottom). The flow direction is indicated by arrows, showing water flowing over the mesh and into the ground. The mesh is secured by a geotextile filter fabric. The diagram also shows a 50M vertical dimension and a 20M horizontal dimension.

ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF N.S.W.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT

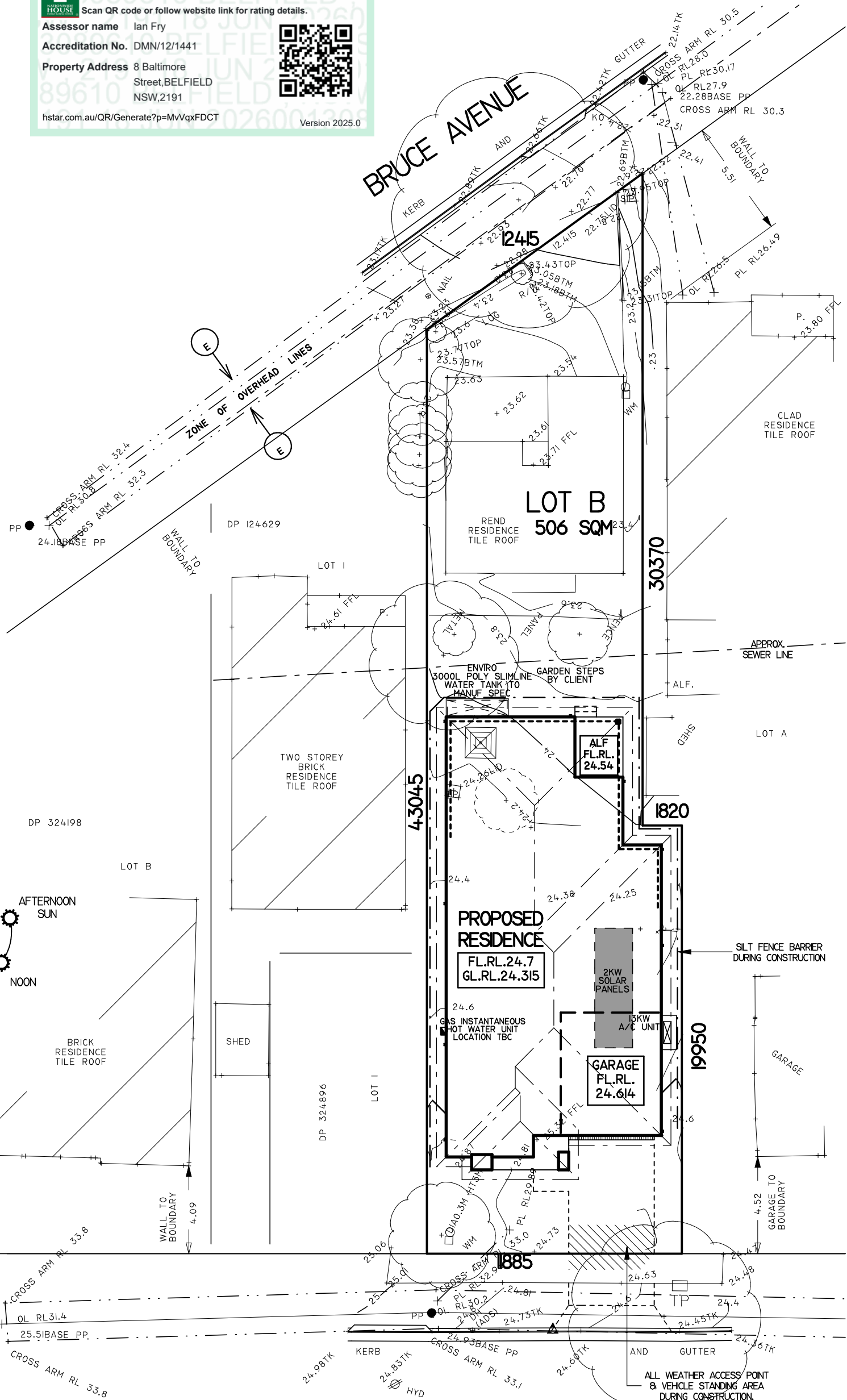
SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD

ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

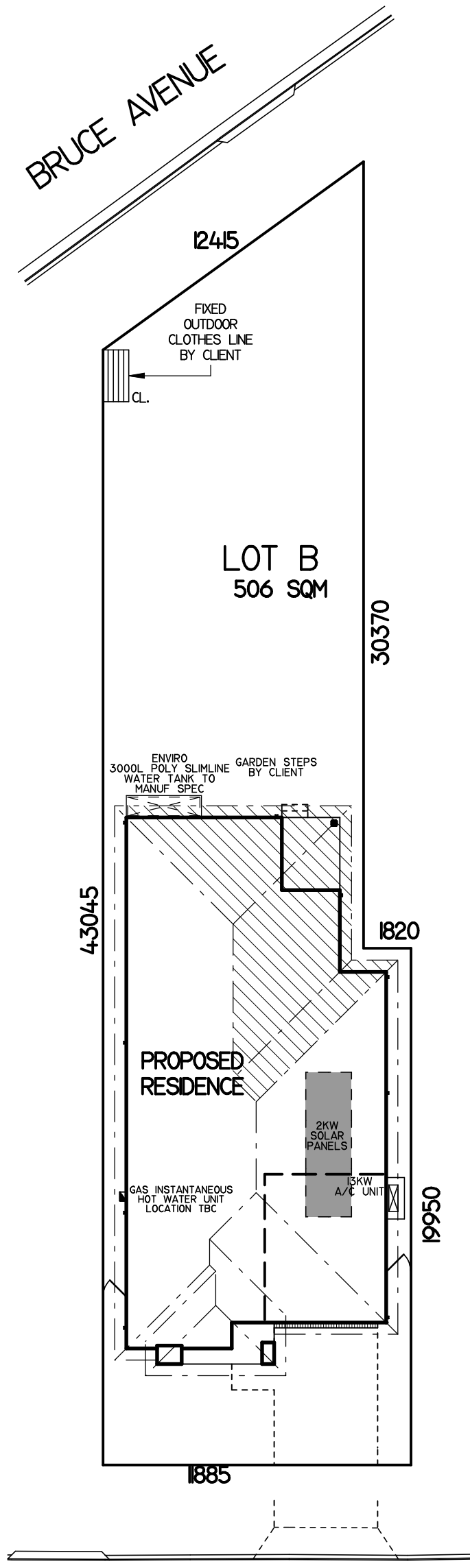
FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2.1M CENTRES), FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.



SITE SEDIMENT CONTROL PLAN 1:200

 Heden brae homes		LEVEL 4, 2 BURBANK PLACE NORWIST NSW 2553 TEL: (02) 8859 5700	
FOR	MR. S. E. M & MRS. K. A. BAIK		UEDSYD MAP253 REV54 REF-F3
LOT B, 8 BALTIMORE STREET			
AT	BELFIELD		DP344098
TYPE	MIDLAND 2I	JOB NO. 0030161	
FACADE KIRRA (ADVANTAGE SERIES)	HAND RH		
MASTER AND-30703	DWG NO. AND-42793	PAGE NO. 9 OF 10	

		25-27 SOLENT CIRCUIT, NORTHWEST - LEVEL 2 SUITE 236 - MACARTHUR POINT PHONE: (02) 8824 3533 WWW.ANDESIGNS.COM.AU	
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BALTIMORE STREET
BASIX PLAN 1:200

DENOTES 60 SQM OF ROOF TO BE COLLECTED

(BASIX CERTIFICATE NUMBER: 1851957S)
STORMWATER / WATER

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (>7.5 BUT <=9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

COLLECTION OF RAINWATER & STORMWATER:
RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 60 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS - 6 STARS. (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.0 - 3.5

ACTIVE HEATING:
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 3.5 - 4.0

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

ARTIFICIAL LIGHTING:
THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS.

ALTERNATIVE ENERGY:
THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM AS PART OF THE DEVELOPMENT. THE APPLICANT MUST CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM. THE PHOTOVOLTAIC SYSTEM MUST CONSIST OF:
- PHOTOVOLTAIC COLLECTORS WITH THE CAPACITY TO GENERATE AT LEAST 2 PEAK KILOWATTS OF ELECTRICITY, INSTALLED AT AN ANGLE BETWEEN 10 DEGREES AND 25 DEGREES TO THE HORIZONTAL FACING NORTH WEST

COOKING:
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

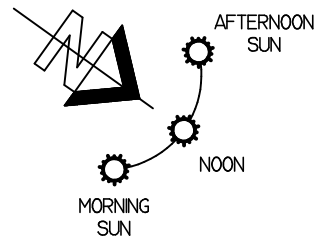
THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N° 0013089610 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N° 0013089610

INSULATION

R2.5 WALL INSULATION (INCLUDING INTERNAL WALLS TO GARAGE)
R2.5 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)
R6.0 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)

BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 89% (TARGET 72%)
MATERIALS - -89% (TARGET N/A)



heden brae homes
LEVEL 4, 2 BURBANK PLACE
NORWEST NSW 2153
TEL: (02) 8859 5700

FOR **MR. S. E. M & MRS. K. A. BAK**
LOT B, 8 BALTIMORE STREET
BELFIELD
AT **MIDLAND 21**
FACADE **KIRRA (ADVANTAGE SERIES)**
MASTER **AND-30703**

JOB NO. **0030161**
HAND **RH**
PAGE NO. **10 OF 10**

DP344098
REV54
REF-F13

REFER TO BASIX CERTIFICATE FOR FULL THERMAL COMFORT COMMITMENTS

Certificate No. 0013089610
Scan QR code or follow website link for rating details.
Assessor name **Ian Fry**
Accreditation No. **DMN/12/1441**
Property Address **8 Baltimore Street, BELFIELD NSW, 2191**
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Version 2025.0

a&n
25-27 SOLENT CIRCUIT,
NORWEST - LEVEL 2 SUITE
26 - MACARTHUR POINT
PHONE: (02) 8824 3533
WWW.ANDESIGNS.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	06.05.26	SITING	MS
B	28.05.26	CC PLAN	NC
C	07.07.26	BASIX/HYDRAULICS	SB

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